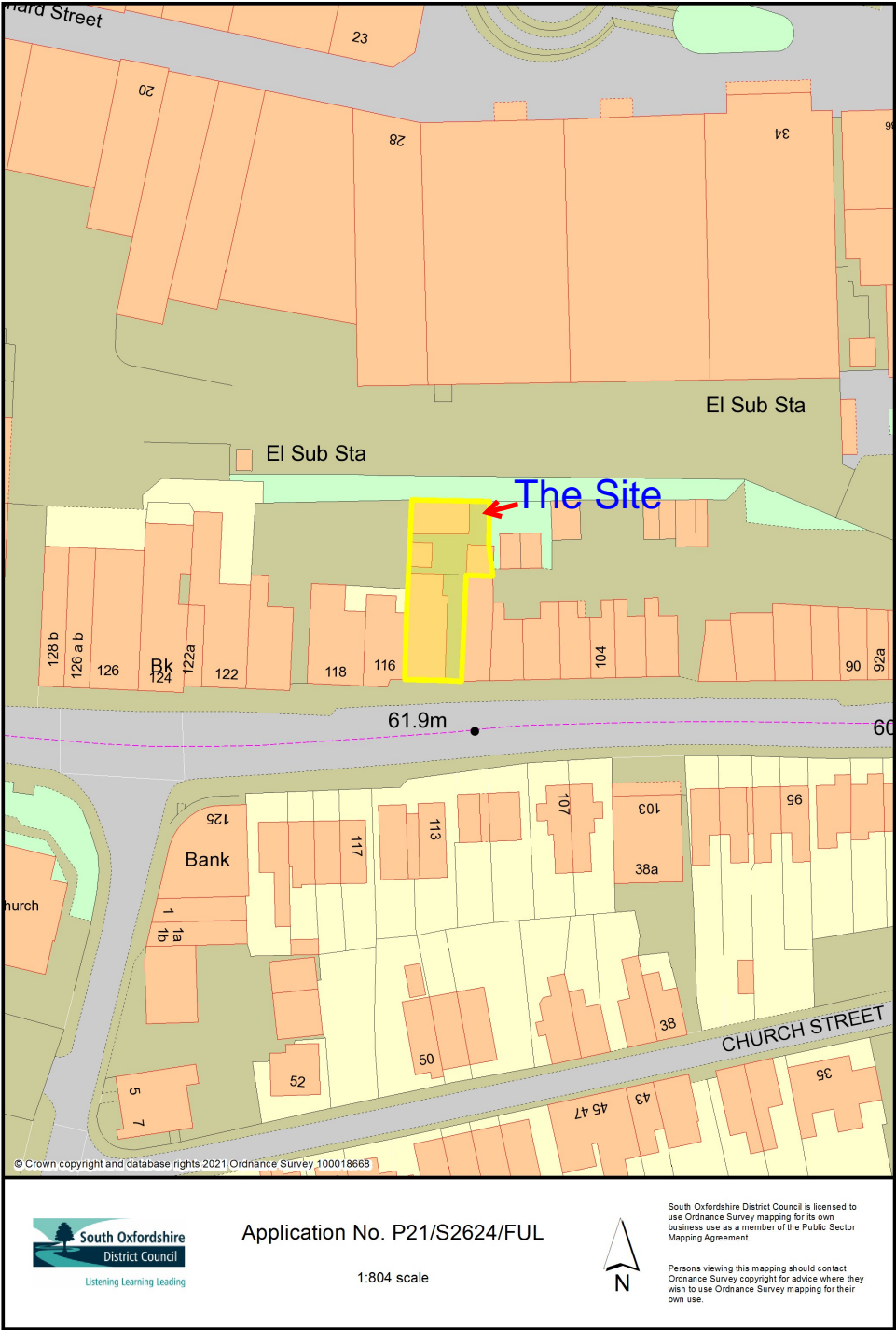


Appendix1



Elevations of scheme approved under planning ref P08/W0029

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Examine this drawing carefully and report immediately any content matter not in accordance with requirements. Do not rely on scaling. Check all dimensions and details prior to starting work and report any discrepancy for instruction. Read all drawings schedules and specifications in connection with one another.

REVISIONS

- | | | |
|---|---|----------|
| A | Revisions to Clients Requirements (Meeting 6.03.07) | 06.03.07 |
| C | Second planning application 14.12.07 | |



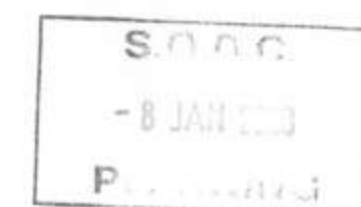
South (Street) Elevation



South Elevation from Supermarket Yard
NORTH



West Elevation from Carpark to Neighbouring Property



Carroll
and Partners

2 St Mary's Court, Wallingford, Oxfordshire, OX10 0EB
Tel: 01491 826515 Fax: 01491 826044
www.carrollandpartners.co.uk

DRAWING TITLE
Proposed: Elevations (Sheet 1)

CONTRACT
114 The Broadway, Didcot.

CLIENT
Printwork Ltd

DRAWN BY PSR DATE February 2007 SCALE 1:100 @ A3

DRAWING NO. BS126/54 C

Appendix 2

P08 / W0029 /

Elevations of scheme approved under planning ref P08/W0029

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REVISIONS

A	Revisions to Clients Requirements (Meeting 6.03.07)	06.03.07
C	Second planning application 14.12.07	



Carroll
and Partners

2 St Mary's Court, Wallingford, Oxfordshire, OX10 0EB
Tel: 01491 826515 Fax: 01491 826044
www.carrollandpartners.co.uk

DRAWING TITLE

Proposed: Elevations (Sheet 2)

CONTRACT

114 The Broadway, Didcot.

CLIENT

Printwork Ltd

DRAWN BY
PSR

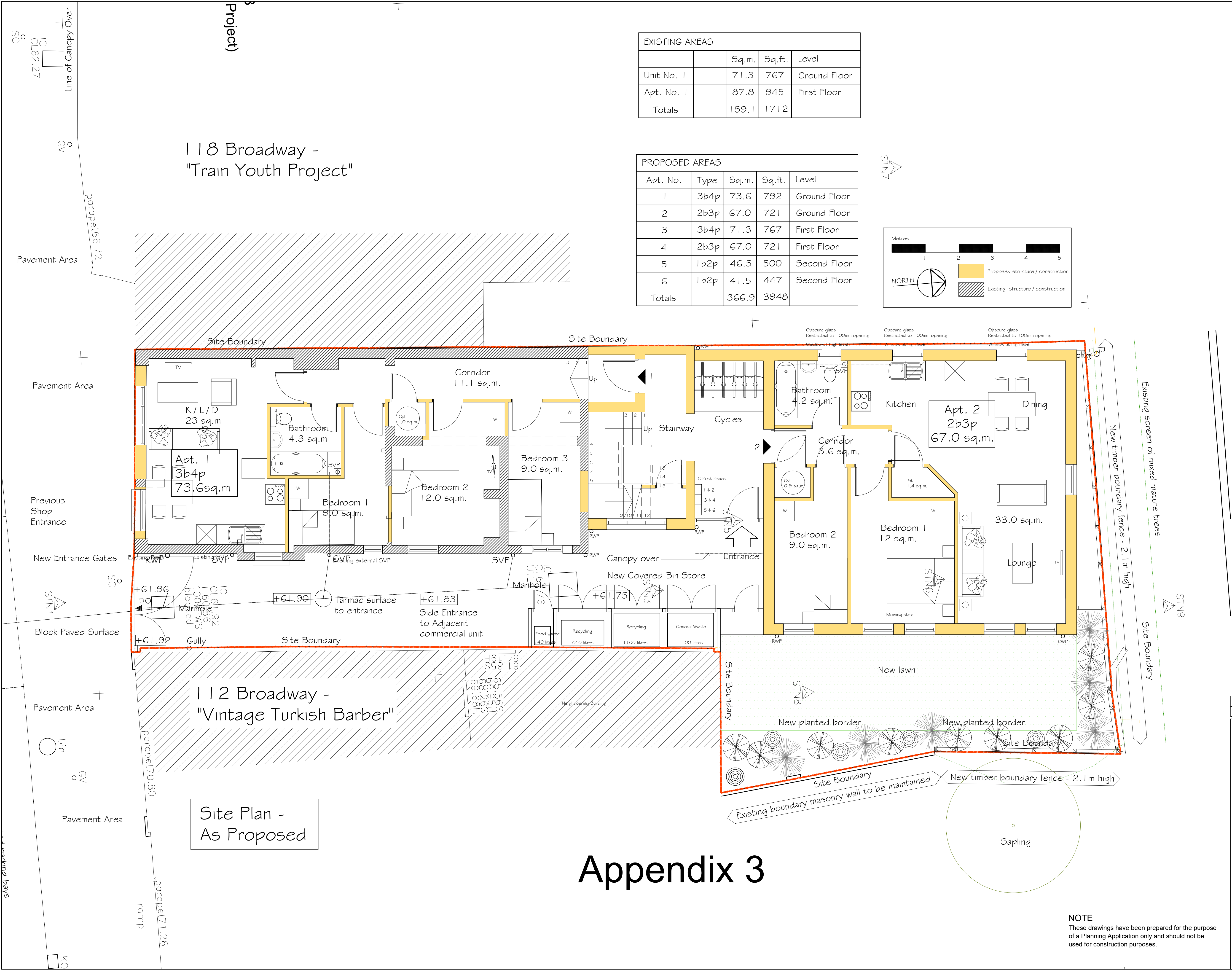
DATE
February 2007

SCALE
1:100 @ A3

DRAWING NO.

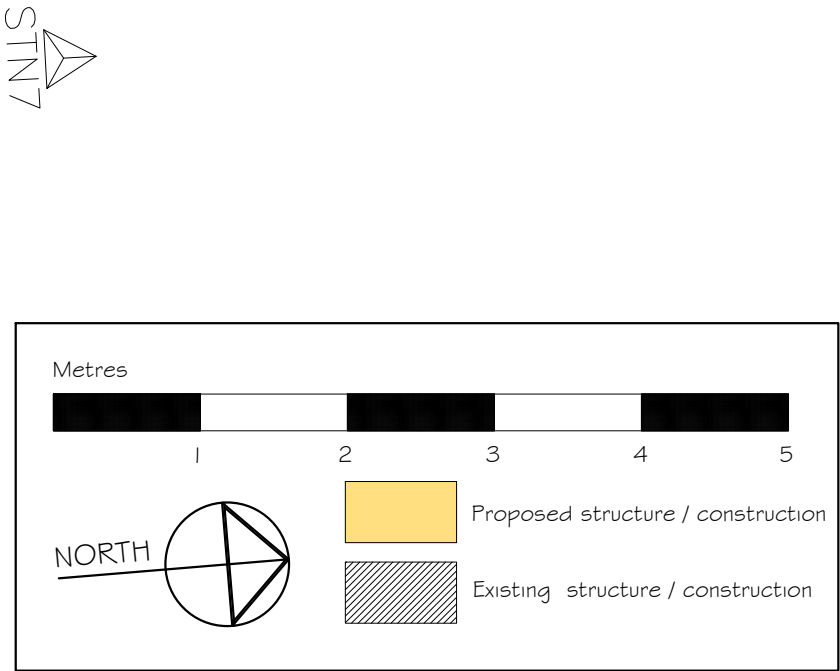
BS126/55 C

P08 / W0029 /



EXISTING AREAS				
		Sq.m.	Sq.ft.	Level
Unit No. 1		71.3	767	Ground Floor
Apt. No. 1		87.8	945	First Floor
Totals		159.1	1712	

PROPOSED AREAS				
Apt. No.	Type	Sq.m.	Sq.ft.	Level
1	3b4p	73.6	792	Ground Floor
2	2b3p	67.0	721	Ground Floor
3	3b4p	71.3	767	First Floor
4	2b3p	67.0	721	First Floor
5	1b2p	46.5	500	Second Floor
6	1b2p	41.5	447	Second Floor
Totals		366.9	3948	



NOTE
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NOTE
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Middleton Top Architects

CHARTERED ARCHITECTS

8 Pink Street, Haworth

West Yorkshire, BD22 8AX

tel. 07943 197025

middletontoparchitects@gmail.com

Client :

Printwork Ltd.

Client Ref Number :

012

Project :

Conversion & Extension of 114 Broadway

Didcot, Oxfordshire, OX11 8AB.

- to form 6 Apartments

Project No :

20-01

Drawing Title :

Site Plan

As Proposed

Drawn By :

MS

Checked :

Approved :

Date :

March 2021

Scale :

1/50 @ : A1

Drawing No :

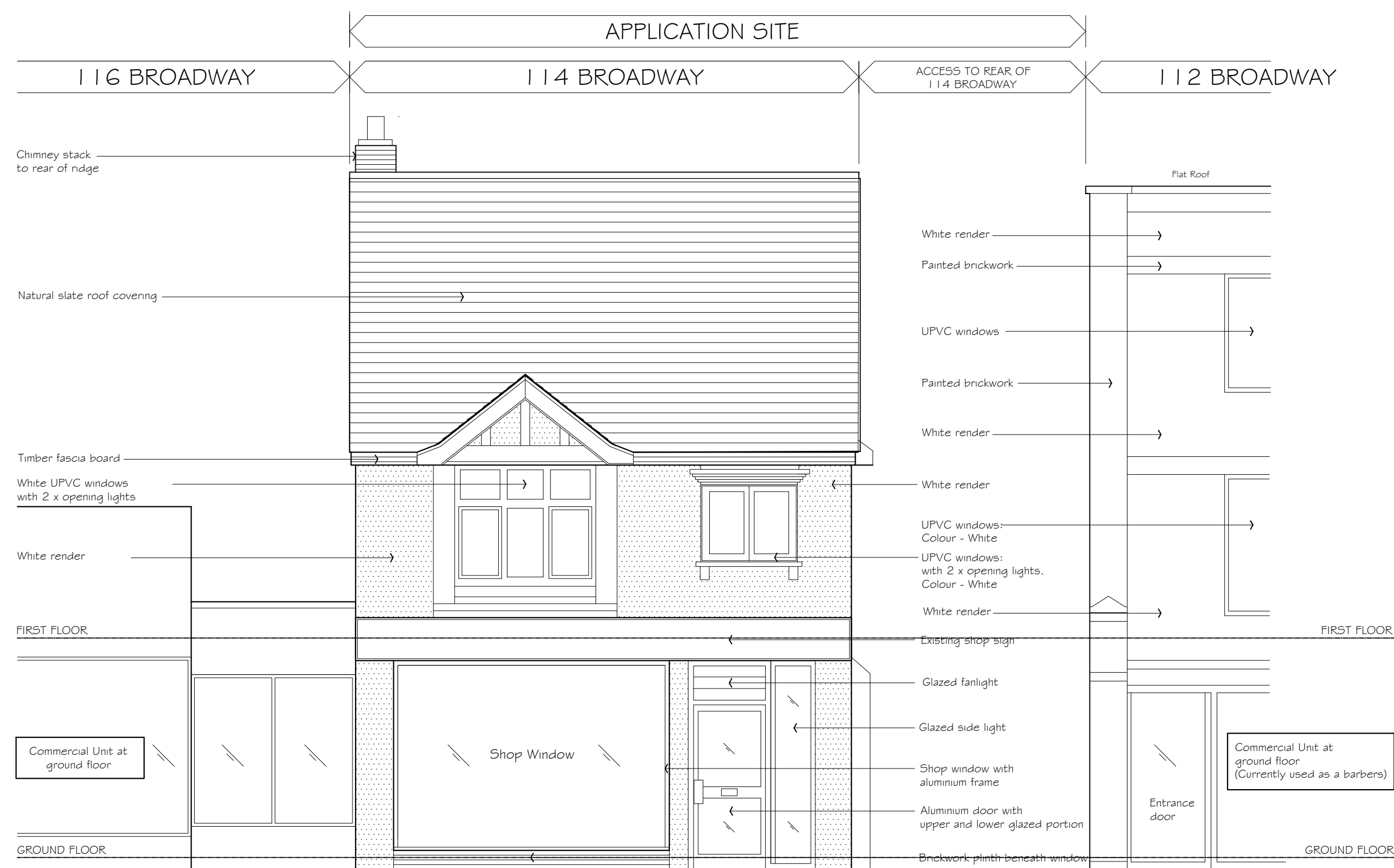
20 - 01 - PL - 06

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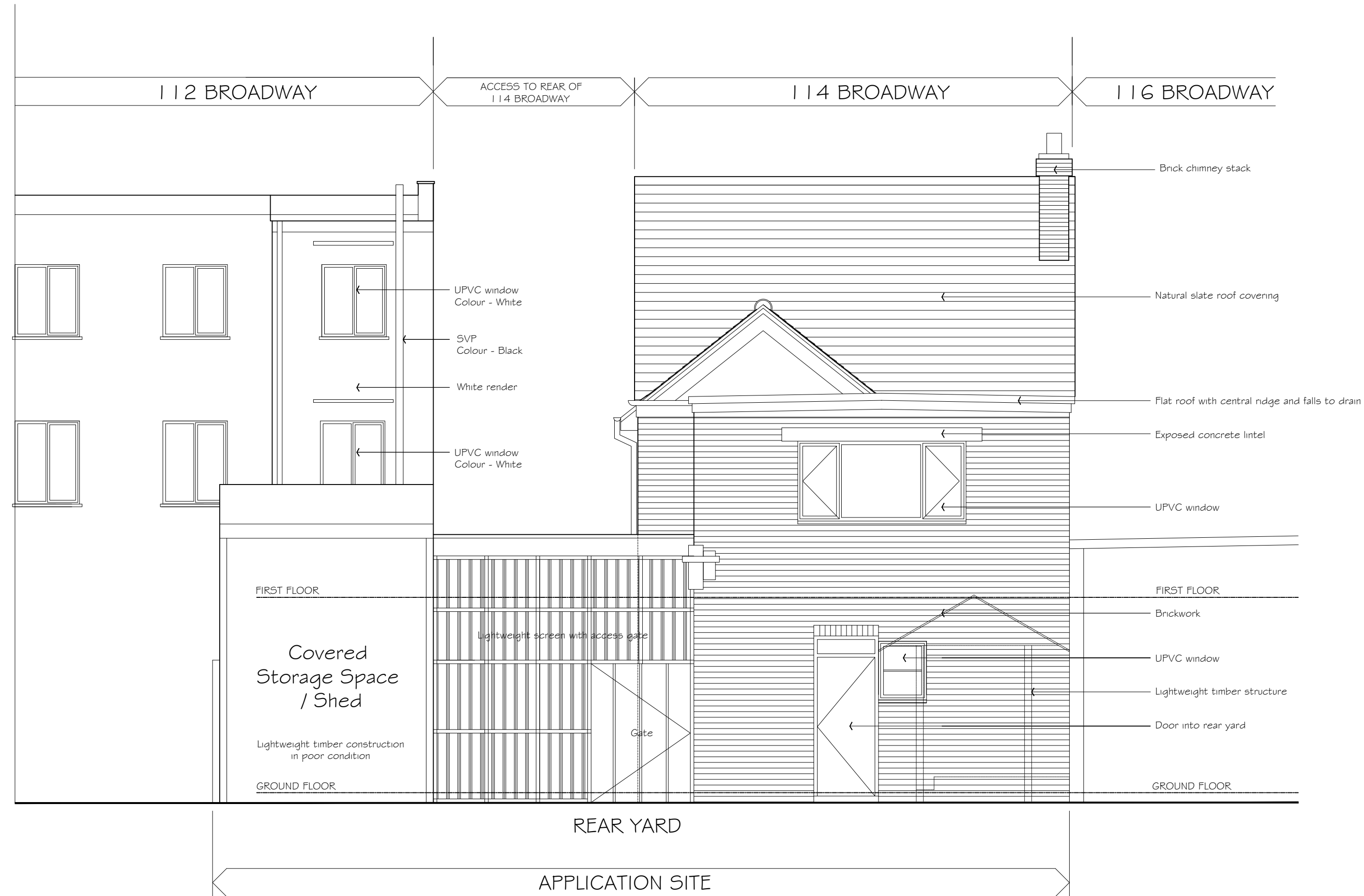
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Appendix 3

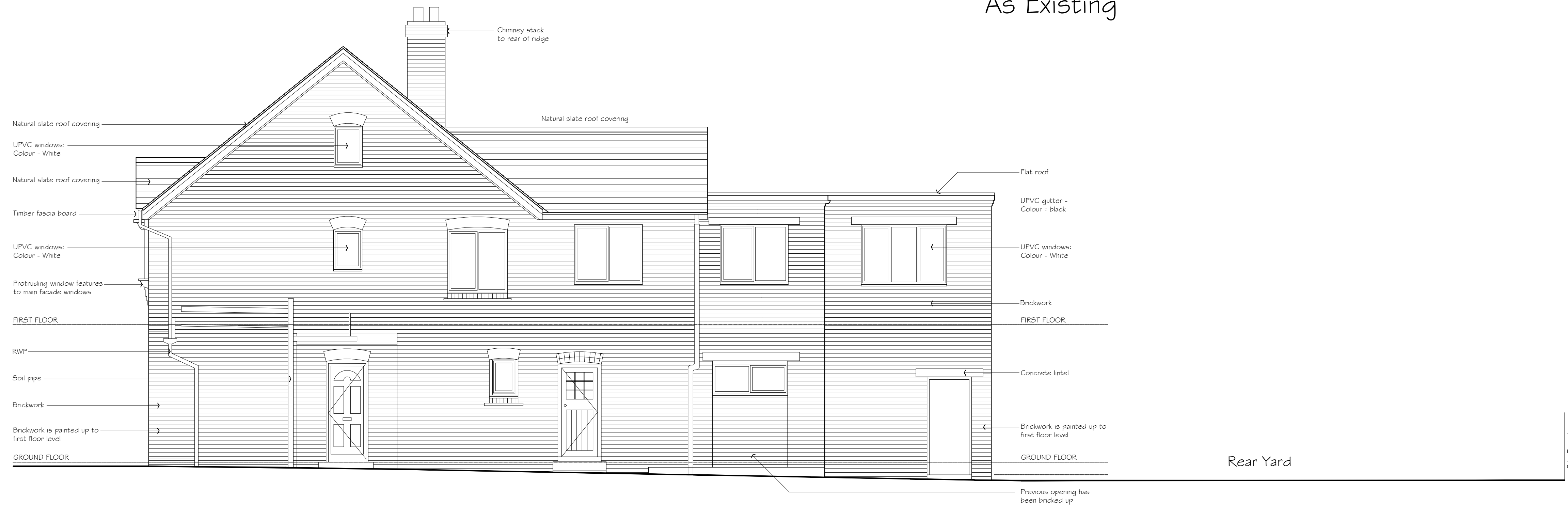
NOTE
This drawing is not to be scaled. All dimensions to be checked on site and any discrepancies to be reported to the Architects. All material is produced on behalf of the Architects. All drawings to be read in conjunction with specification where applicable.



Front Elevation (South) - to Broadway
As Existing



Rear Elevation (North) -
As Existing

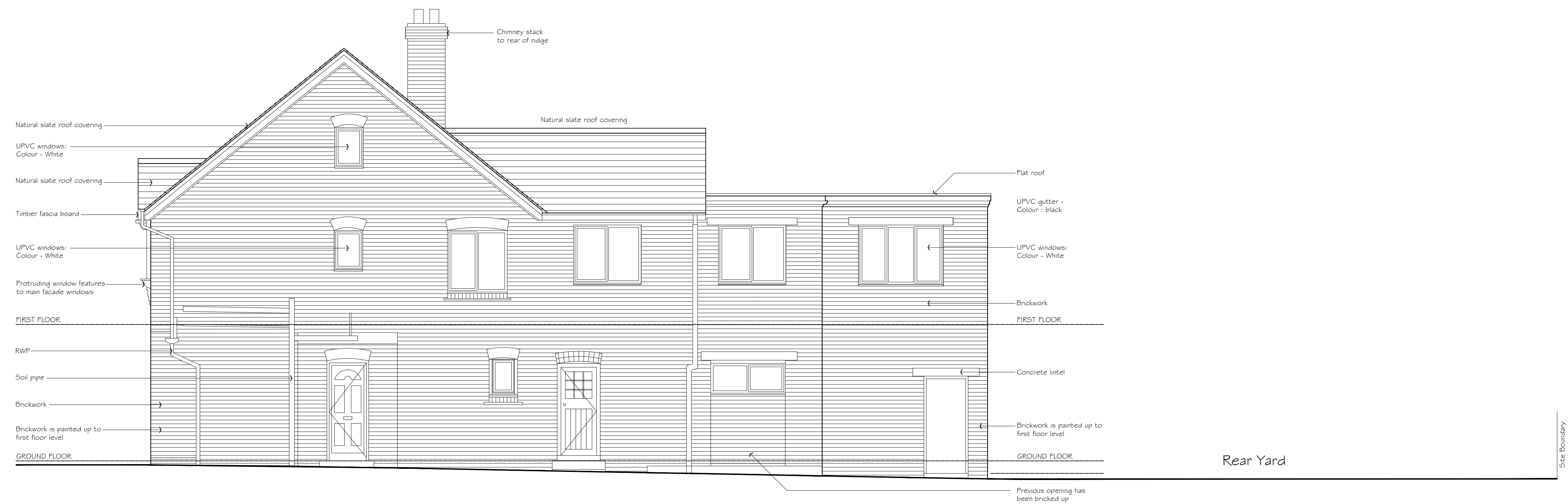


East Sectional Elevation from Delivery Access

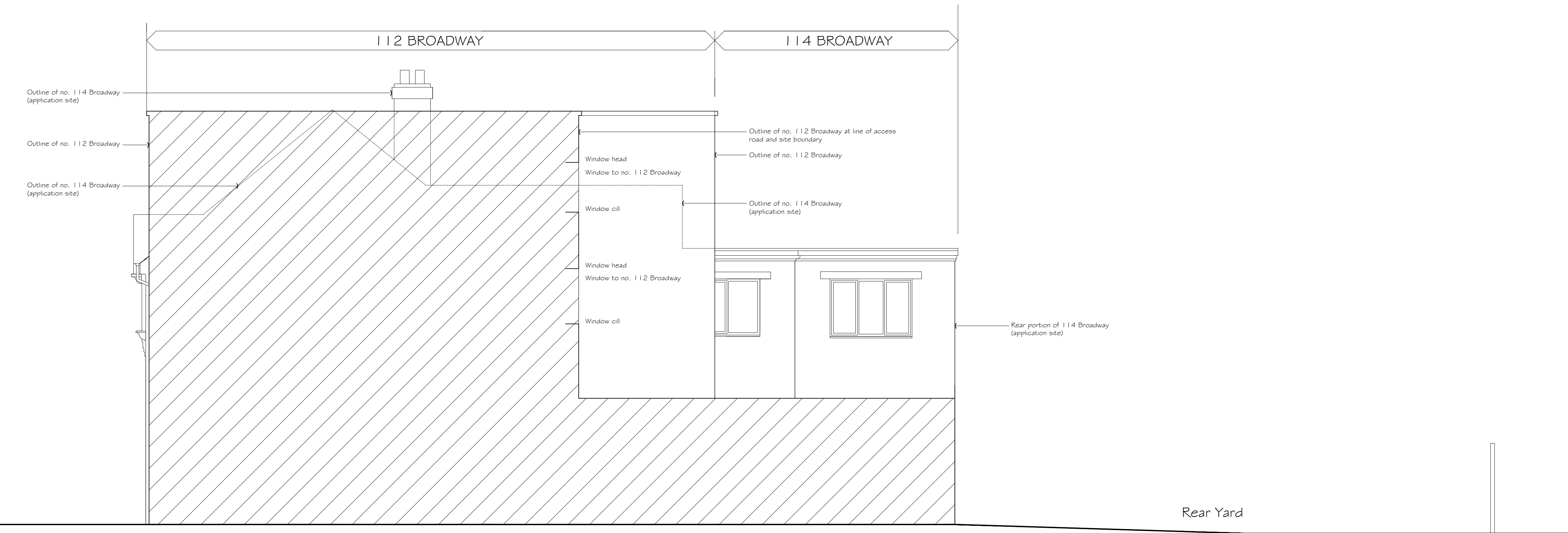
NOTE
These drawings have been prepared for the purpose of a Planning Application only and should not be used for construction purposes.

Rev.	Description	Date	Drawn By	Chkd	Appd.
1	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
2	Chimney stack to rear of ridge				
3	Natural slate roof covering				
4	Timber fascia board				
5	White UPVC windows with 2 x opening lights				
6	White render				
7	FIRST FLOOR				
8	Commercial Unit at ground floor				
9	Shop Window				
10	Existing shop sign				
11	Glazed fanlight				
12	Glazed side light				
13	Shop window with aluminium frame				
14	Aluminium door with upper and lower glazed portion				
15	Brickwork plinth beneath window				
16	Entrance door				
17	Commercial Unit at ground floor (Currently used as a barbers)				
18	GROUND FLOOR				
19	112 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	114 BROADWAY	116 BROADWAY	
20	UPVC window Colour - White				
21	SVP Colour - Black				
22	White render				
23	UPVC window Colour - White				
24	FIRST FLOOR				
25	Covered Storage Space / Shed				
26	Lightweight timber construction in poor condition				
27	GROUND FLOOR				
28	Brick chimney stack				
29	Natural slate roof covering				
30	Flat roof with central ridge and falls to drain				
31	Exposed concrete lintel				
32	UPVC window				
33	Brickwork				
34	UPVC window				
35	Lightweight timber structure				
36	Door into rear yard				
37	GROUND FLOOR				
38	REAR YARD				
39	APPLICATION SITE				
40	Chimney stack to rear of ridge				
41	Natural slate roof covering				
42	UPVC windows Colour - White				
43	Natural slate roof covering				
44	Timber fascia board				
45	UPVC windows Colour - White				
46	Protruding window features to main facade windows				
47	FIRST FLOOR				
48	RWP				
49	Soil pipe				
50	Brickwork				
51	Brickwork is painted up to first floor level				
52	GROUND FLOOR				
53	Flat roof				
54	UPVC gutter Colour - black				
55	UPVC windows Colour - White				
56	Brickwork				
57	FIRST FLOOR				
58	Concrete lintel				
59	Brickwork is painted up to first floor level				
60	GROUND FLOOR				
61	Previous opening has been bricked up				
62	Side Boundary				
63	REAR YARD				
64	APPLICATION SITE				
65	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
66	Chimney stack to rear of ridge				
67	Natural slate roof covering				
68	UPVC windows Colour - White				
69	Natural slate roof covering				
70	Timber fascia board				
71	UPVC windows Colour - White				
72	Protruding window features to main facade windows				
73	FIRST FLOOR				
74	RWP				
75	Soil pipe				
76	Brickwork				
77	Brickwork is painted up to first floor level				
78	GROUND FLOOR				
79	Flat roof				
80	UPVC gutter Colour - black				
81	UPVC windows Colour - White				
82	Brickwork				
83	FIRST FLOOR				
84	Concrete lintel				
85	Brickwork is painted up to first floor level				
86	GROUND FLOOR				
87	Previous opening has been bricked up				
88	Side Boundary				
89	REAR YARD				
90	APPLICATION SITE				
91	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
92	Chimney stack to rear of ridge				
93	Natural slate roof covering				
94	UPVC windows Colour - White				
95	Natural slate roof covering				
96	Timber fascia board				
97	UPVC windows Colour - White				
98	Protruding window features to main facade windows				
99	FIRST FLOOR				
100	RWP				
101	Soil pipe				
102	Brickwork				
103	Brickwork is painted up to first floor level				
104	GROUND FLOOR				
105	Flat roof				
106	UPVC gutter Colour - black				
107	UPVC windows Colour - White				
108	Brickwork				
109	FIRST FLOOR				
110	Concrete lintel				
111	Brickwork is painted up to first floor level				
112	GROUND FLOOR				
113	Previous opening has been bricked up				
114	Side Boundary				
115	REAR YARD				
116	APPLICATION SITE				
117	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
118	Chimney stack to rear of ridge				
119	Natural slate roof covering				
120	UPVC windows Colour - White				
121	Natural slate roof covering				
122	Timber fascia board				
123	UPVC windows Colour - White				
124	Protruding window features to main facade windows				
125	FIRST FLOOR				
126	RWP				
127	Soil pipe				
128	Brickwork				
129	Brickwork is painted up to first floor level				
130	GROUND FLOOR				
131	Flat roof				
132	UPVC gutter Colour - black				
133	UPVC windows Colour - White				
134	Brickwork				
135	FIRST FLOOR				
136	Concrete lintel				
137	Brickwork is painted up to first floor level				
138	GROUND FLOOR				
139	Previous opening has been bricked up				
140	Side Boundary				
141	REAR YARD				
142	APPLICATION SITE				
143	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
144	Chimney stack to rear of ridge				
145	Natural slate roof covering				
146	UPVC windows Colour - White				
147	Natural slate roof covering				
148	Timber fascia board				
149	UPVC windows Colour - White				
150	Protruding window features to main facade windows				
151	FIRST FLOOR				
152	RWP				
153	Soil pipe				
154	Brickwork				
155	Brickwork is painted up to first floor level				
156	GROUND FLOOR				
157	Flat roof				
158	UPVC gutter Colour - black				
159	UPVC windows Colour - White				
160	Brickwork				
161	FIRST FLOOR				
162	Concrete lintel				
163	Brickwork is painted up to first floor level				
164	GROUND FLOOR				
165	Previous opening has been bricked up				
166	Side Boundary				
167	REAR YARD				
168	APPLICATION SITE				
169	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
170	Chimney stack to rear of ridge				
171	Natural slate roof covering				
172	UPVC windows Colour - White				
173	Natural slate roof covering				
174	Timber fascia board				
175	UPVC windows Colour - White				
176	Protruding window features to main facade windows				
177	FIRST FLOOR				
178	RWP				
179	Soil pipe				
180	Brickwork				
181	Brickwork is painted up to first floor level				
182	GROUND FLOOR				
183	Flat roof				
184	UPVC gutter Colour - black				
185	UPVC windows Colour - White				
186	Brickwork				
187	FIRST FLOOR				
188	Concrete lintel				
189	Brickwork is painted up to first floor level				
190	GROUND FLOOR				
191	Previous opening has been bricked up				
192	Side Boundary				
193	REAR YARD				
194	APPLICATION SITE				
195	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
196	Chimney stack to rear of ridge				
197	Natural slate roof covering				
198	UPVC windows Colour - White				
199	Natural slate roof covering				
200	Timber fascia board				
201	UPVC windows Colour - White				
202	Protruding window features to main facade windows				
203	FIRST FLOOR				
204	RWP				
205	Soil pipe				
206	Brickwork				
207	Brickwork is painted up to first floor level				
208	GROUND FLOOR				
209	Flat roof				
210	UPVC gutter Colour - black				
211	UPVC windows Colour - White				
212	Brickwork				
213	FIRST FLOOR				
214	Concrete lintel				
215	Brickwork is painted up to first floor level				
216	GROUND FLOOR				
217	Previous opening has been bricked up				
218	Side Boundary				
219	REAR YARD				
220	APPLICATION SITE				
221	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
222	Chimney stack to rear of ridge				
223	Natural slate roof covering				
224	UPVC windows Colour - White				
225	Natural slate roof covering				
226	Timber fascia board				
227	UPVC windows Colour - White				
228	Protruding window features to main facade windows				
229	FIRST FLOOR				
230	RWP				
231	Soil pipe				
232	Brickwork				
233	Brickwork is painted up to first floor level				
234	GROUND FLOOR				
235	Flat roof				
236	UPVC gutter Colour - black				
237	UPVC windows Colour - White				
238	Brickwork				
239	FIRST FLOOR				
240	Concrete lintel				
241	Brickwork is painted up to first floor level				
242	GROUND FLOOR				
243	Previous opening has been bricked up				
244	Side Boundary				
245	REAR YARD				
246	APPLICATION SITE				
247	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
248	Chimney stack to rear of ridge				
249	Natural slate roof covering				
250	UPVC windows Colour - White				
251	Natural slate roof covering				
252	Timber fascia board				
253	UPVC windows Colour - White				
254	Protruding window features to main facade windows				
255	FIRST FLOOR				
256	RWP				
257	Soil pipe				
258	Brickwork				
259	Brickwork is painted up to first floor level				
260	GROUND FLOOR				
261	Flat roof				
262	UPVC gutter Colour - black				
263	UPVC windows Colour - White				
264	Brickwork				
265	FIRST FLOOR				
266	Concrete lintel				
267	Brickwork is painted up to first floor level				
268	GROUND FLOOR				
269	Previous opening has been bricked up				
270	Side Boundary				
271	REAR YARD				
272	APPLICATION SITE				
273	116 BROADWAY	114 BROADWAY	ACCESS TO REAR OF 114 BROADWAY	112 BROADWAY	
274	Chimney stack to rear of ridge				
275	Natural slate roof covering				
276	UPVC windows Colour - White				
277	Natural slate roof covering				
278	Timber fascia board				
279	UPVC windows Colour - White				
280	Protruding window features to main facade windows				
281	FIRST FLOOR				
282	RWP				
283	Soil pipe				
284	Brickwork				
285	Brickwork is painted up to first floor level				
286	GROUND FLOOR				
287	Flat roof				
288	UPVC gutter Colour - black				
289	UPVC windows Colour - White				
290	Brickwork				
291	FIRST FLOOR				
292	Concrete lintel				
293	Brickwork is painted up to first floor level				
294	GROUND FLOOR				
295	Previous opening has been bricked up				
296	Side Boundary				
297	REAR YARD				

NOTE
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East Sectional Elevation from Delivery Access



East Elevation from Neighbouring Property

NOTE
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Rev.	Description	Date	Drawn By	Chkd	Appd.
-	-	-	-	-	-
Middleton Top Architects CHARTERED ARCHITECTS 8 Pink Street, Haworth West Yorkshire, BD22 8AX tel. 07943 197025 middletontoparchitects@gmail.com					
Client : Printwork Ltd.					
Client Ref Number : 012					
Project : Conversion & Extension of 114 Broadway Didcot, Oxfordshire. OX11 8AB. - to form 6 Apartments					
Project No : 20-01					
Drawing Title : Elevations as Existing Sheet 2					
Drawn By : MS Checked : - Approved : -					
Date : March 2021		Scale : 1/50 @ : A1			
Drawing No : 20 - 01 - PL - 05					Rev. No : -

NOTE
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East Sectional Elevation from Delivery Access as Proposed



Front Elevation (South) - to Broadway as Proposed

NOTE
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Rev.	Description	Date	Drawn By	Chkd	Appd.

Middleton Top Architects
CHARTERED ARCHITECTS
8 Pink Street, Haworth
West Yorkshire, BD22 8AX
Tel: 07943 197025
middletontoparchitects@gmail.com

Client :
Printwork Ltd.

Client Ref Number : 012

Project :
Conversion & Extension of 114 Broadway
Didcot, Oxfordshire
- to form 6 Apartments

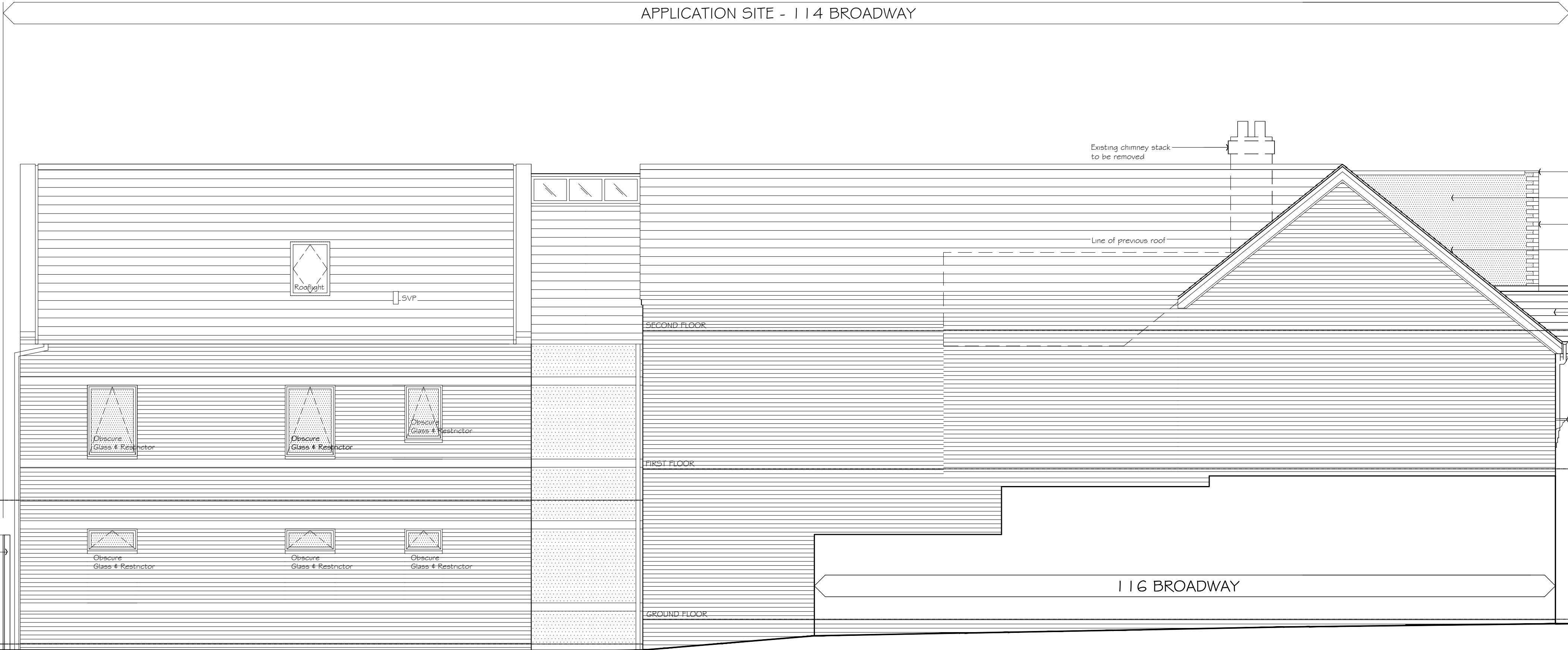
Project No : 20-01

Drawing Title :
Elevations
As Proposed - Sheet 1

Drawn By : MS
Checked :
Approved :
Date : March 2021
Scale : 1/50 @ : A1

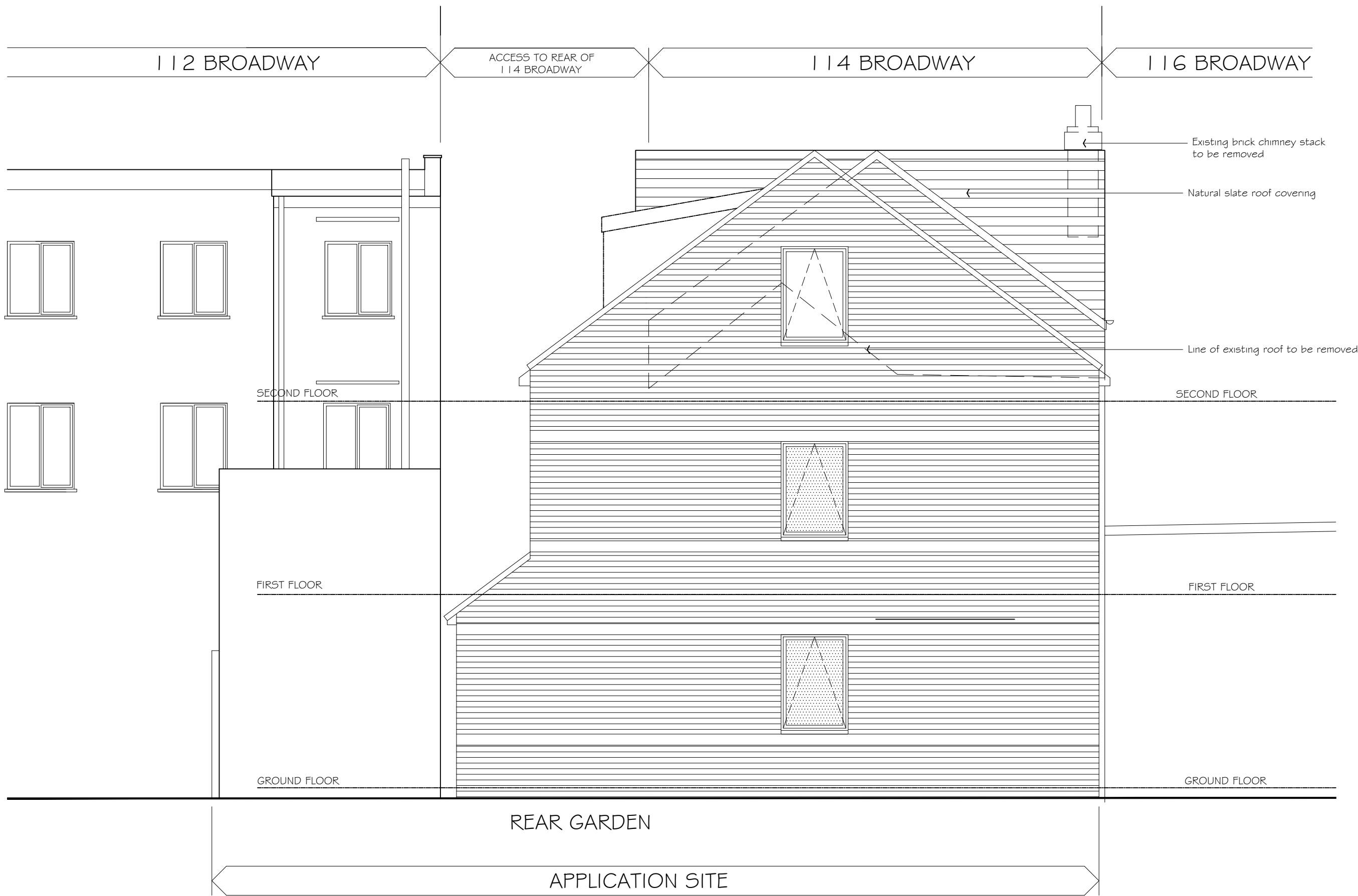
Drawing No :
20 - 01 - PL - 09

Rev. No :
-



NOTE
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West Elevation from Carpark to Neighbouring Property as Proposed



Rear Elevation (North) - as Proposed

NOTE
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Rev.	Description	Date	Drawn By	Chkd	Appd.
Middleton Top Architects CHARTERED ARCHITECTS 8 Pink Street, Haworth West Yorkshire, BD22 8AX tel. 07943 197025 middletontoparchitects@gmail.com					
Client : Printwork Ltd.					
Client Ref Number : 012					
Project : Conversion & Extension of 114 Broadway Didcot, Oxfordshire - to form 6 Apartments					
Project No : 20-01					
Drawing Title : Elevations As Proposed - Sheet 2					
Drawn By : MS Checked : Approved :					
Date : March 2021		Scale : 1/50 @ : A1			
Drawing No : 20 - 01 - PL - 10					Rev. No : -